

**KEEPERS
KILLIGARTH
POLPERRO
PL13 2JQ**



Three bedroom modern detached bungalow in a popular location with driveway parking, single garage, rear garden and is offered to the market with no forward chain.

Price £360,000

The property was built a short number of years ago and finished in approximately 2013, the property has been kept in lovely condition by the current owners and offers lovely accommodation for any new owner. The property is situated a short distance from the village of Polperro and being only five miles from the popular town of Looe. Polperro offers various independent shops and has its own harbour and numerous pubs and cafes for all to enjoy along with a post office and bus route to Looe and neighbouring town of Liskeard.

THE ACCOMMODATION COMPRISES WITH APPROXIMATE MEASUREMENTS:-

ENTRANCE HALL:

Access to large boarded loft which is accessed via a wooden ladder and has a Velux window, power and lights laid on and also houses the hot water cylinder. This space makes excellent storage or has scope for further use subject to the necessary consents and regulations. Doors to all rooms and door to built in coats cupboard.

LOUNGE/DINER:

18' 6" X 15' 6" (5.63M X 4.72M) MAX

Half wall between, wooden double glazed patio doors, two double glazed wooden windows, three Velux windows and single double glazed wooden door and feature fire with inset wood burner.

CONSERVATORY:

13' 4" X 8' 6" (4.06M X 2.59M)

Upvc double glazed windows and patio doors and external power point.

KITCHEN:

8' 6" X 7' 6" (2.59M X 2.28M)

Range of modern wall and floor units with working surfaces over and inset stainless steel sink unit with drainer. Built in electric oven, hob and cooker hood over. Built in fridge and freezer and dishwasher. Wooden double glazed window to the front with distant views and door to:

UTILITY:

5' 6" X 5' 3" (1.68M X 1.60M)

Wall and floor unit with working surface and inset circular sink, built in washing machine. Door to outside. Two built in cupboards, one housing electric meter and solar panel controls and one with hanging rail and a shelf.

SHOWER ROOM:

5' 6" X 5' 0" (1.68M X 1.52M)

White suite comprising of corner shower with screen and electric Mira shower, wash hand basin, WC, partly tiled walls, towel rail, extractor fan and small wall hung cupboard.

BEDROOM ONE:

10' 4" X 9' 6" (3.15M X 2.89M) MAX

Door into inner hall with opening to bedroom with double glazed wooden patio doors and windows, built in wardrobes with hanging rails and shelving. Door to:

ENSUITE BATHROOM:

8' 6" X 5' 0" (2.59M X 1.52M)

White suite comprising paneled bath, pedestal wash hand basin, WC, wooden double glazed window looking to the rear of the property, towel rail and extractor fan.

BEDROOM TWO:

11' 9" X 10' 3" (3.58M X 3.12M)

Wooden double glazed window looking to the front of the property.

BEDROOM THREE/STUDY:

8' 6" X 6' 6" (2.59M X 1.98M)

Wooden double glazed window looking to the front of the property.

GARAGE:

19' 6" X 9' 9" (5.94M X 2.97M)

Metal up and over door, wooden pedestrian door to the side and opaque Perspex window to the rear of garage.

OUTSIDE

The property is approached over its own driveway where there is parking for approximately three cars, the front of the garage is located here and the property is bounded by mature hedging and shrubs offering a good degree of privacy. Please note the curb from the roadway to pavement has not been dropped.

The rear of the property is mainly laid to lawn with a seating area to the side and gate giving access to the front of the property and side to the garage. There is a small patio area to the rear by the master bedroom patio doors. The garden is bounded by wooden fencing and mature trees.

PLEASE NOTE

There is electric underfloor heating throughout with zoned controls and also solar panels to the property. We understand that the solar panels are leased and were installed in 2012.

SERVICES

Mains water, electricity and drainage.

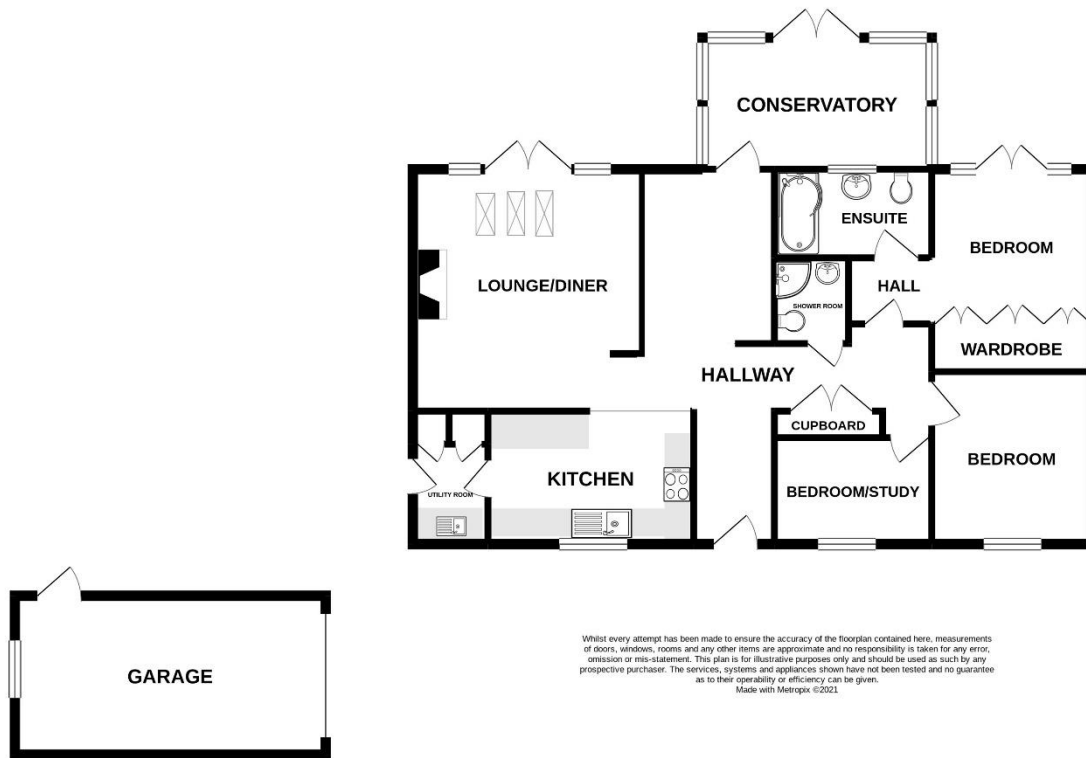
COUNCIL TAX BAND

C

EPC RATING

C





Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C	70 c	80 c
55-68	D		
39-54	E		
21-38	F		
1-20	G		

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